



EXAMPLE OF SKETCH DESIGNS



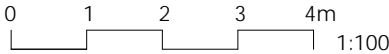
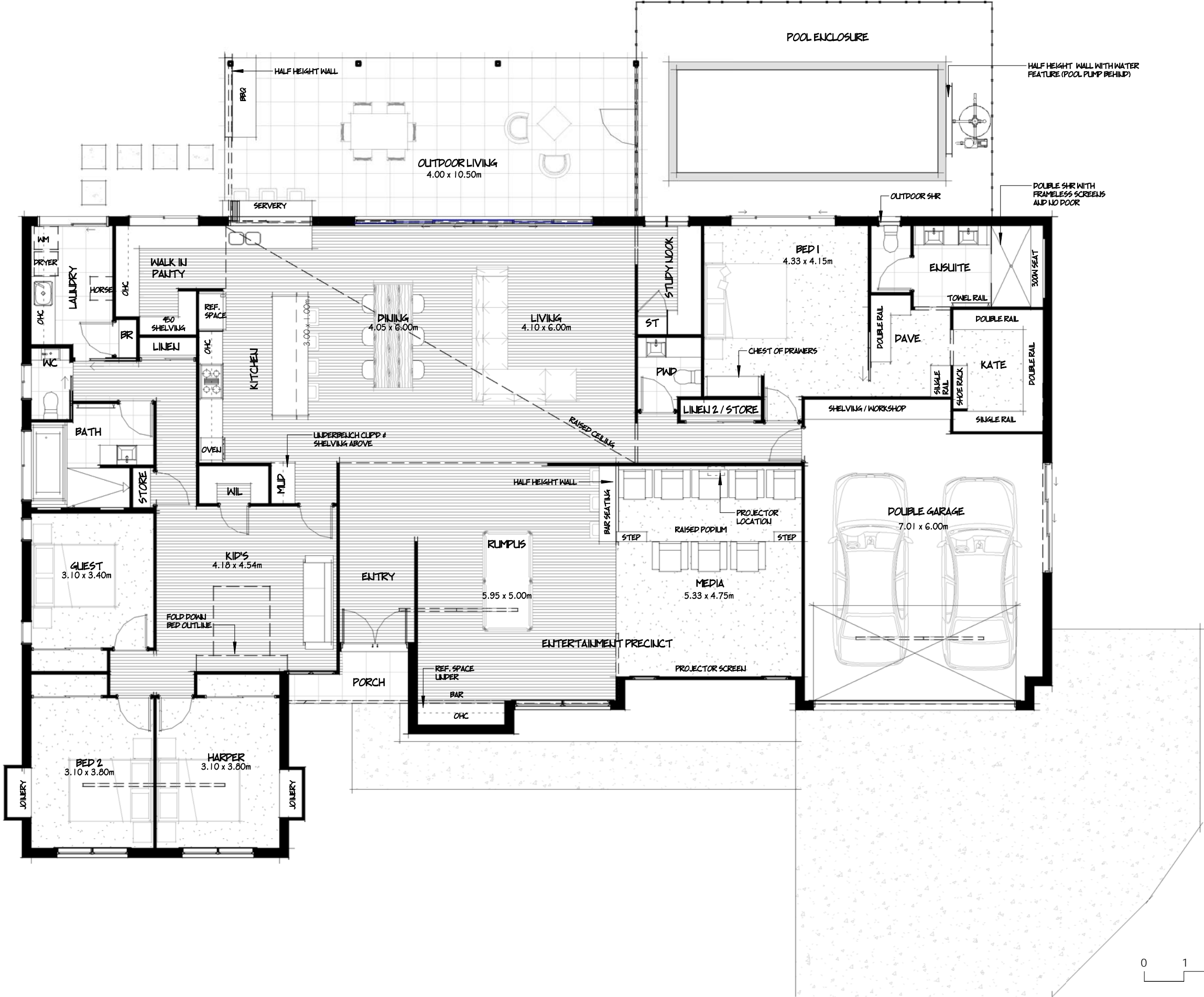
REVISION

H	17.08.2019	SK ISSUE
I	21.08.2019	SK ISSUE
J	27.08.2019	SK ISSUE
K	06.09.2019	SK ISSUE
L	09.09.2019	SK ISSUE
M	12.09.2019	SK ISSUE
N	16.09.2019	SK ISSUE
O	20.09.2019	SK ISSUE
P	09.10.2019	SK ISSUE

TITLE External 3D's	ADDRESS ...	PROJECT NO	ISSUE
DATE		DWG no	
SCALE	CLIENT xx Residence	14	

FLOOR AREA CALCULATIONS

Garage	47.53 m ²
Ground Floor Living	295.72 m ²
Outdoor Living	42.08 m ²
Porch	3.30 m ²
	388.63 m ²



REVISION

H	17.08.2019	SK ISSUE
I	21.08.2019	SK ISSUE
J	27.08.2019	SK ISSUE
K	06.09.2019	SK ISSUE
L	09.09.2019	SK ISSUE
M	12.09.2019	SK ISSUE
N	16.09.2019	SK ISSUE
O	20.09.2019	SK ISSUE
P	09.10.2019	SK ISSUE

TITLE Sketch Plan

DATE

SCALE 1 : 100

ADDRESS ...

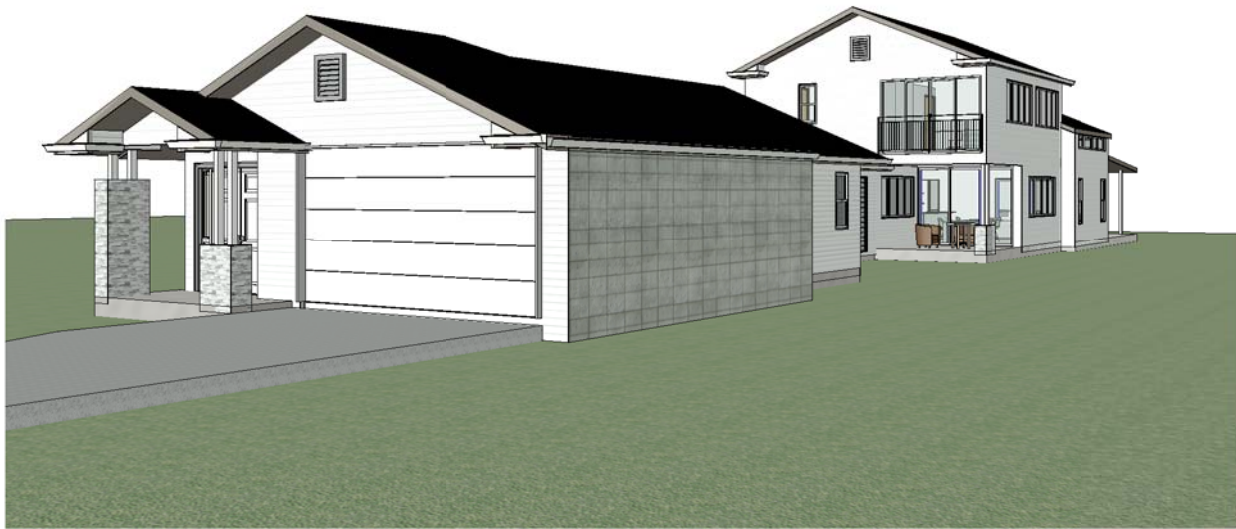
CLIENT xx Residence

PROJECT NO

DWG no

ISSUE

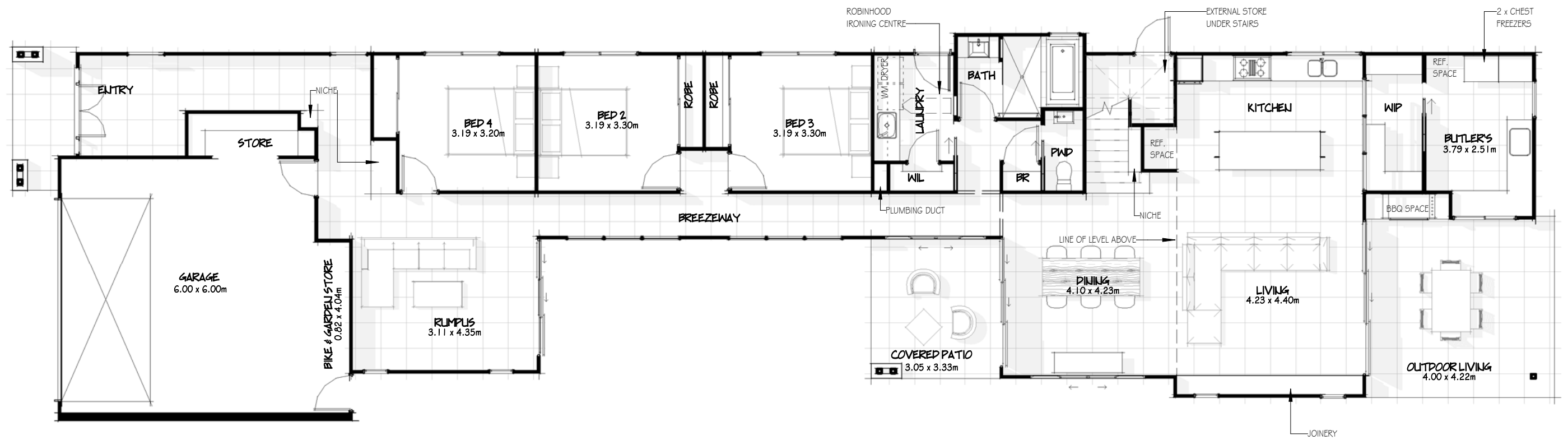
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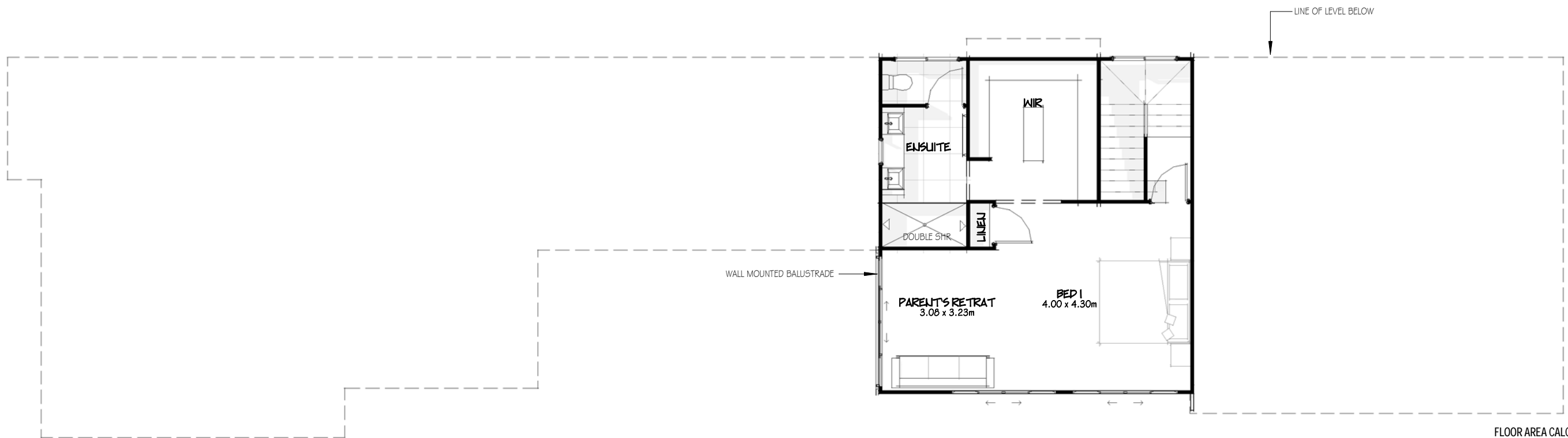
REVISION

A	05.07.2019	CONCEPT 1
B	27.07.2019	CONCEPT 2
C	16.08.2019	CONCEPT 3
D	02.09.2019	CONCEPT 4
E	13.09.2019	CONCEPT 5
F	13.09.2019	CONCEPT 6

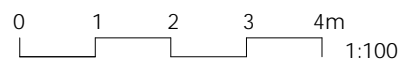
TITLE Facade 1	ADDRESS ...	PROJECT NO	ISSUE
DATE 23.09.019			F
SCALE	CLIENT x Residence	DWG no 13	



Ground
1 : 100



Lvl 1
1 : 100



FLOOR AREA CALCULATIONS

Covered Patio	9.90 m ²
Deck	Not Placed
Garage	45.86 m ²
Ground Floor Living	180.14 m ²
Lvl 1	55.59 m ²
Outdoor Living	16.88 m ²
Porch	3.66 m ²
	312.04 m ²



EXAMPLE OF PRELIMINARY PLANS

PROPOSED RESIDENCE FOR

xx Residence

DRAWING LIST

NOTES

INCLUSIONS

- 2740mm CEILING HEIGHT THROUGHOUT
3740mm CEILING TO KITCHEN / DINING / LIVING
2590mm CEILING TO OUTDOOR LIVING
- GENERAL
- 40mm STONE TO KITCHEN ISLAND.
 - 20mm STONE SIDE & REAR KITCHEN BENCH, LAUNDRY, BATH, ENSUITE & PWDS.
 - 300mm SKIRTING TILE TO ALL WET AREAS UNLESS SHOWN OTHERWISE.
 - SQUARE SET CORNICE THROUGHOUT
- WINDOWS
- 2400 HEAD HEIGHT THROUGHOUT
 - STAINLESS STEEL SECURITY SCREENS THROUGHOUT
- DOORS
- 2400 HEAD HEIGHT THROUGHOUT
 - CRIMSAFE SECURITY SCREEN TO LAUNDRY DOOR.
 - INSECT SCREEN TO OUTDOOR LIVING STACKER DOOR (TBC BY BUILDER)



GENERAL NOTES

DO NOT SCALE FROM THE DRAWINGS, USE FIGURED DIMENSIONS. CONFIRM ALL DIMENSIONS ON SITE. ALL RL'S ARE RELATIVE STRUCTURAL RL'S GIVEN IN AHD. ARROWS INDICATE DIRECTION OF FALLS GENERALLY AND RISE ON STEPS & RAMPS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT'S DOCUMENTATION.

CONSTRUCTION
ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND LOCAL GOVERNMENT REQUIREMENT. FALL FLOOR SURFACE OF ALL WET AREAS TO FWG. USE ONLY APPROVED FLOORING OVER TIMBER STRUCTURE BELOW WET AREAS AS PER AS 3740.

WET AREAS
IN ACCORDANCE WITH BCA VOL. 2 PART 3.8.1.
PROVIDE WATERPROOFING TO WET AREAS. PROVIDE 6mm FC LINING SUITABLE FOR WET AREA CONSTRUCTION TO WET AREA WALLS.

BALUSTRADE & HANDRAILS
ALL BALUSTRADING & HANDRAILS TO COMPLY WITH BCA VOL.2 PART 3.9.2

TERMITE PROTECTION
PROVIDE TERMITE PROTECTION AS PER AS3660.1 & BCA VOL. 2 FIGURE 3.1.3.2

ENERGY EFFICIENCY
REFER TO BCA PART 3.12

STEELWORK
ALL STEELWORK TO COMPLY WITH AS 4100 - STEEL STRUCTURES.

WINDOWS
ALUMINIUM & GLAZING IN ACCORDANCE WITH AS 2047

OTHER
ALL WORK TO BE IN ACCORDANCE WITH THE REQUIRMENTS OF THE BCA 2009 VOL 2

CONCRETE FOOTINGS & SLAB TO BE CONSTRUCTED IN ACCORDANCE WITH AS 2870 & ENGINEER'S DRAWINGS.

OTHER CONT'D
STAIR CONSTRUCTION IS TO BE COMPLIANT WITH BCA CLAUSES 3.9.2.2 & 3.9.2.3 & ENGINEER'S DRAWINGS.

LOCATION OF EXISTING SERVICES TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

POSITION OF PROPOSED BUILDING TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

PROVIDE BRACING & TIEDOWN TO TIMBER FRAMING IN ACCORDANCE WITH AS 1684.2 / 1684.3. ALL OTHER BRACING & TIEDOWN TO ENGINEERS DETAIL.

EXTERNAL FITTINGS & FIXTURES TO BE CORROSION RESISTANT MATERIAL.

SITE PREPARATION
STABILIZED CUT & FILL BATTER TO BE A MINIMUM OF 1000mm AWAY FROM FOOTINGS WITH A MAXIMUM GRADIENT OF 1 IN 1. GRADE FINISHED SURFACE LEVEL AWAY FROM SLAB & FOOTINGS.

DRIVEWAYS & PATHS
A MINIMUM OF 20mm FALL OVER FIRST METRE FROM BUILDING.

SERVICES
LOCATION OF EXISTING SERVICES TO BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION. SEWERAGE DISCHARGE TO EXISTING SEWER IN ACCORDANCE WITH AS 3500.

STORMWATER DRAINAGE
IN ACCORDANCE WITH AS 3500.3 AND RCC.
90 DIA. DOWNPIPES TO STORMWATER PIPES WITH 200mm MINIMUM COVER (1:100 MINIMUM FALL). 1 DOWNPIPE PER 12m OF GUTTER. REDUCED BY 1 METRE FOR EACH BEND IN GUTTER.

SMOKE ALARMS
PROVIDE SMOKE ALARMS TO THE RESIDENCE IN ACCORDANCE WITH PART 3.7.2 OF THE BCA 2009 VOL 2. ALARMS SHALL BE CONNECTED TO MAINS POWER.

Owner Signed: Date..... Owner Signed:..... Date..... Builder Signed:.....Date.....

<div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div></div><div>Architecture Reg. No: 5149</div><div>STUDIO</div><div>m 0404 808 674 e hello@pavilionstudio.com.au pavilionstudio.com.au ABN: 91 931 251 418</div></div></div></div></div>	<p>NOTE: DO NOT SCALE FROM THE DRAWINGS. ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO FABRICATION AND/OR CONSTRUCTION. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES. PAVILION STUDIO RETAIN THE COPYRIGHT OF ALL DRAWINGS AT ALL TIMES. DRAWINGS MAY NOT BE REPRODUCED BY ANY PROCESS IN FULL OR IN PART WITHOUT THE PRIOR WRITTEN APPROVAL OF PAVILION STUDIO.</p> <table><tr><td>REVISION</td><td></td><td>SK ISSUE</td></tr><tr><td>0</td><td>20.09.2019</td><td>0</td></tr><tr><td>PD1</td><td>23.10.2019</td><td>PD1 ISSUE</td></tr><tr><td>PD2</td><td>30.10.2019</td><td>PD2 ISSUE - DRIVEWAY/CARAVAN STORE REVISED, GAS HANU REMOVED, ELEC. INSTANT HANU ADDED, MB RELOCATED</td></tr></table>	REVISION		SK ISSUE	0	20.09.2019	0	PD1	23.10.2019	PD1 ISSUE	PD2	30.10.2019	PD2 ISSUE - DRIVEWAY/CARAVAN STORE REVISED, GAS HANU REMOVED, ELEC. INSTANT HANU ADDED, MB RELOCATED	<table><tr><td>TITLE</td><td>Coversheet</td><td rowspan="2">ADDRESS</td><td>...</td><td>PROJECT NO</td><td></td><td rowspan="2">ISSUE</td></tr><tr><td>DATE</td><td>30.10.2019</td><td></td><td></td></tr><tr><td>SCALE</td><td>1 : 100</td><td>CLIENT</td><td>xx Residence</td><td>DWG no</td><td>1</td><td></td></tr></table>	TITLE	Coversheet	ADDRESS	...	PROJECT NO		ISSUE	DATE	30.10.2019			SCALE	1 : 100	CLIENT	xx Residence	DWG no	1		PD2
		REVISION		SK ISSUE																													
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PD1	23.10.2019	PD1 ISSUE																															
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TITLE	Coversheet	ADDRESS	...	PROJECT NO		ISSUE																											
DATE	30.10.2019																																
SCALE	1 : 100	CLIENT	xx Residence	DWG no	1																												

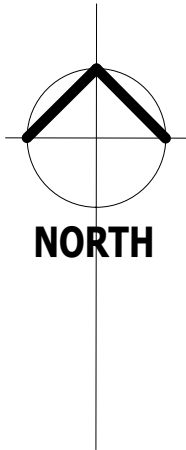
PROPERTY DESCRIPTION

LOT 2 ON SP174005
AUTHORITY: BRISBANE C.C.
AREA: 2906m²

AREAS

SITE AREA: 2906m²
TOTAL FOOTPRINT: 386m²
SITE COVER: 13.28%

AREA SCHEDULE	
NAME	AREA
Garage	47.94 m²
Ground Floor Living	292.64 m²
Outdoor Living	42.08 m²
Porch	3.71 m²
	386.37 m²



- LEGEND
- DP

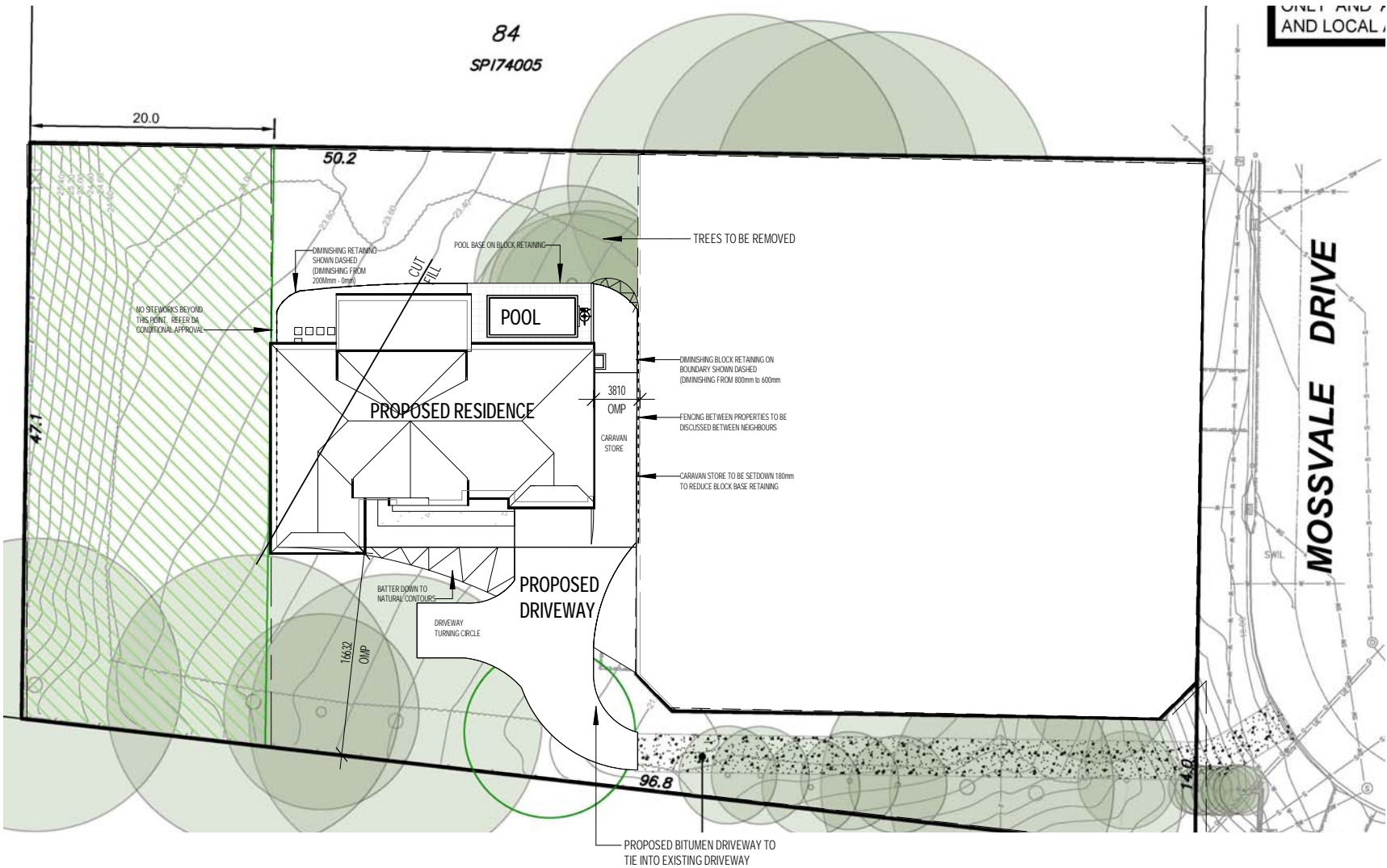
DOWNPIPE
- MB

METER BOX (LOCATION TO BE
CONFIRMED ON SITE BY ELECTRICIAN)
- HWS

HOT WATER SYSTEM
- OMP

OUTER MOST PROJECTION
- FW

FACE OF WALL
- STORMWATER PIT (ALLOCATION OF PITS TO
BE CONFIRMED ON SITE BY PLUMBER)



Site Plan
1 : 500

PRELIMINARY SITING ONLY -
LEVELS TO BE CONFIRMED ONCE
SITE SURVEY COMPLETED

NOTE: DO NOT SCALE FROM THE DRAWINGS. ALL DIMENSIONS TO BE
CONFIRMED ON SITE PRIOR TO FABRICATION AND/OR CONSTRUCTION. IT
REMAINS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE
WITH RELEVANT CODES AND REGULATIONS IS MAINTAINED AT ALL TIMES.
PAVILION STUDIO RETAIN THE COPYRIGHT OF ALL DRAWINGS AT ALL TIMES.
DRAWINGS MAY NOT BE REPRODUCED BY ANY PROCESS IN FULL OR IN
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REVISION			
0	20.09.2019	SK ISSUE	
PD1	23.10.2019	PD1 ISSUE	
PD2	30.10.2019	PD2 ISSUE - DRIVEWAY/CARAVAN STORE REVISED, GAS HNU REMOVED, ELEC. INSTANT HNU ADDED, MB RELOCATED	

TITLE Site Plan	ADDRESS ...	PROJECT NO	ISSUE PD2
DATE 30.10.2019		DWG no 2	
SCALE As indicated	CLIENT xx Residence		

AREA SCHEDULE	
NAME	AREA
Garage	47.94 m ²
Ground Floor Living	292.64 m ²
Outdoor Living	42.08 m ²
Porch	3.71 m ²
	386.37 m ²

INCLUSIONS

2740mm CEILING HEIGHT THROUGHOUT
3740mm CEILING TO KITCHEN / DINING / LIVING
2590mm CEILING TO OUTDOOR LIVING

GENERAL

- 40mm STONE TO KITCHEN ISLAND.
- 20mm STONE SIDE & REAR KITCHEN BENCH, LAUNDRY, BATH, ENSUITE & PWDS.
- 300mm SKIRTING TILE TO ALL WET AREAS UNLESS SHOWN OTHERWISE
- SQUARE SET CORNICE THROUGHOUT

WINDOWS

- 2400 HEAD HEIGHT THROUGHOUT
- STAINLESS STEEL SECURITY SCREENS THROUGHOUT

DOORS

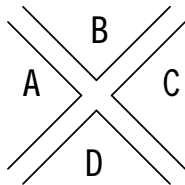
- 2400 HEAD HEIGHT THROUGHOUT
- CRIMSAFE SECURITY SCREEN TO LAUNDRY DOOR.
- INSECT SCREEN TO OUTDOOR LIVING STACKER DOOR (TBC BY BUILDER)

LEGEND

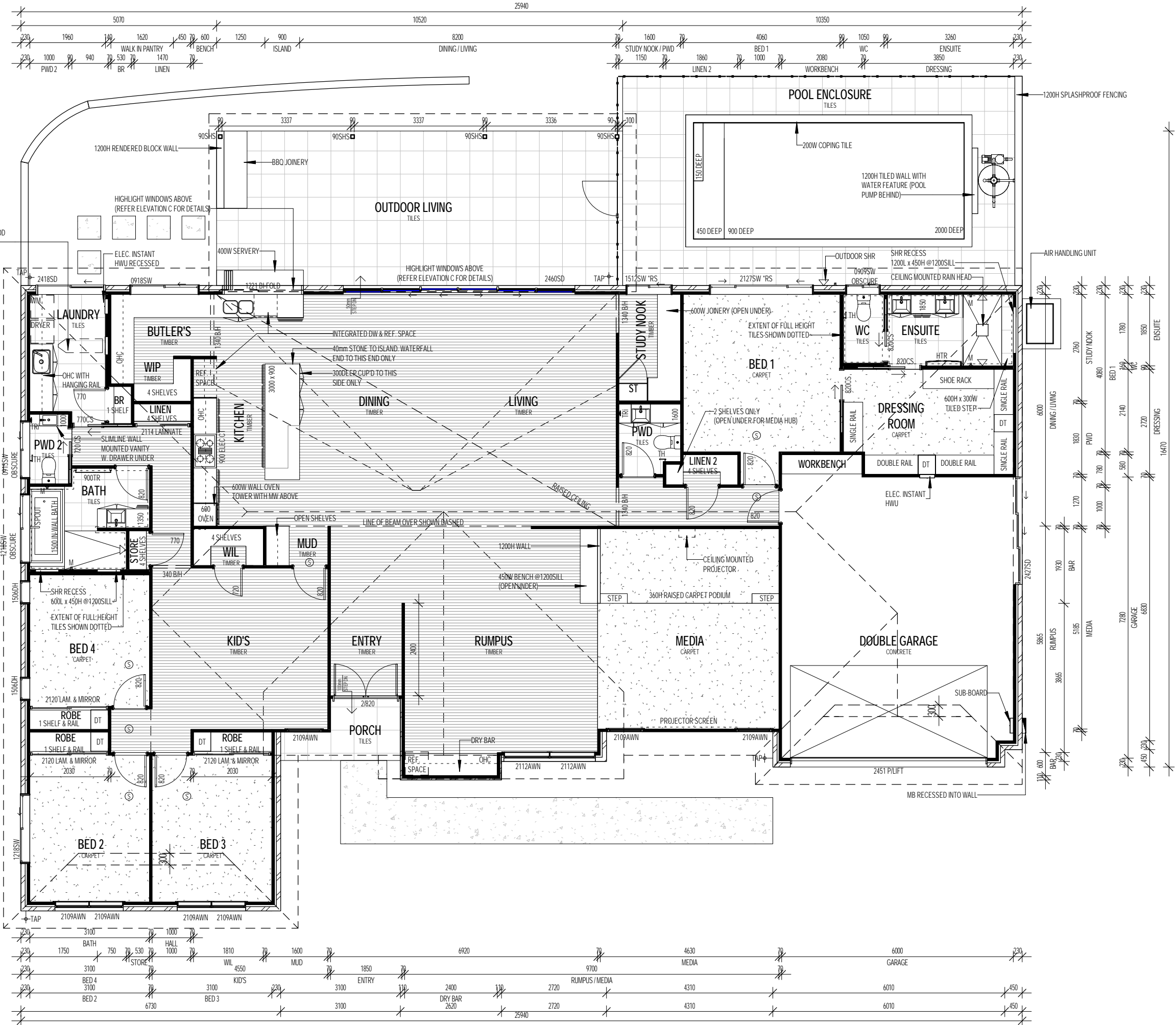
Ⓢ	SMOKE DETECTOR
+	FLOOR WASTE GULLY
DP	DOWNPIPE
DT	DRAWER TOWER
MB	METER BOX
HWS	HOT WATER SYSTEM
OHC	OVERHEAD CUPBOARD
CTR/H	COOKTOP / RANGEHOOD
SHOWER HEAD	SHOWER HEAD
M	MIXER
RS	RESTRICTED OPENING
SHS	STEEL HOLLOW SECTION COLUMN
TR	TOWEL RAIL
TRI	TOWEL RING
TH	TOILET ROLL HOLDER
WOT	WALL OVEN TOWER

GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
ALL DIMENSIONS, ANGLES AND LEVELS TO BE CHECKED AND VERIFIED ON SITE.
DO NOT SCALE FROM DRAWINGS.
DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTS, INCLUDING CONDITIONS OF APPROVAL, ETC.
DESIGN IS BASED ON N3 (NON-CYCLONIC) FOR WIND SPEEDS TO 41MS.
HATCHINGS AND FITTINGS ARE INDICATIVE ONLY. REFER TO BUILDERS SPECIFICATIONS.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH CURRENT NCC REQUIREMENTS.



ELEVATIONS



REVISION

0	20.09.2019	SK ISSUE
P01	23.10.2019	P01 ISSUE
P02	30.10.2019	P02 ISSUE - DRIVEWAY CARAVAN STORE REVISED, GAS HANU REMOVED, ELEC. INSTANT HWU ADDED, MB RECESSED

TITLE Ground Floor Plan

DATE 30.10.2019

SCALE 1 : 100

ADDRESS ...

CLIENT xx Residence

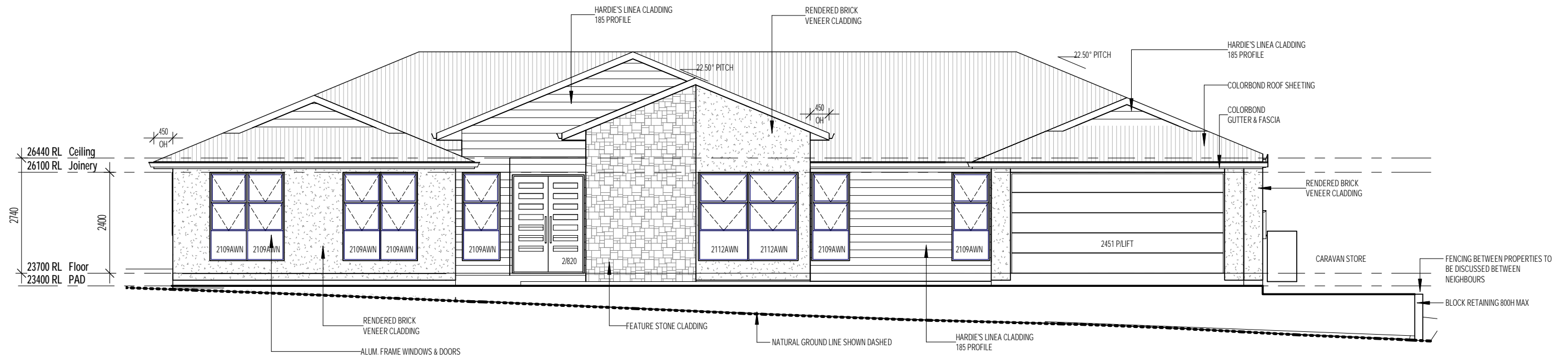
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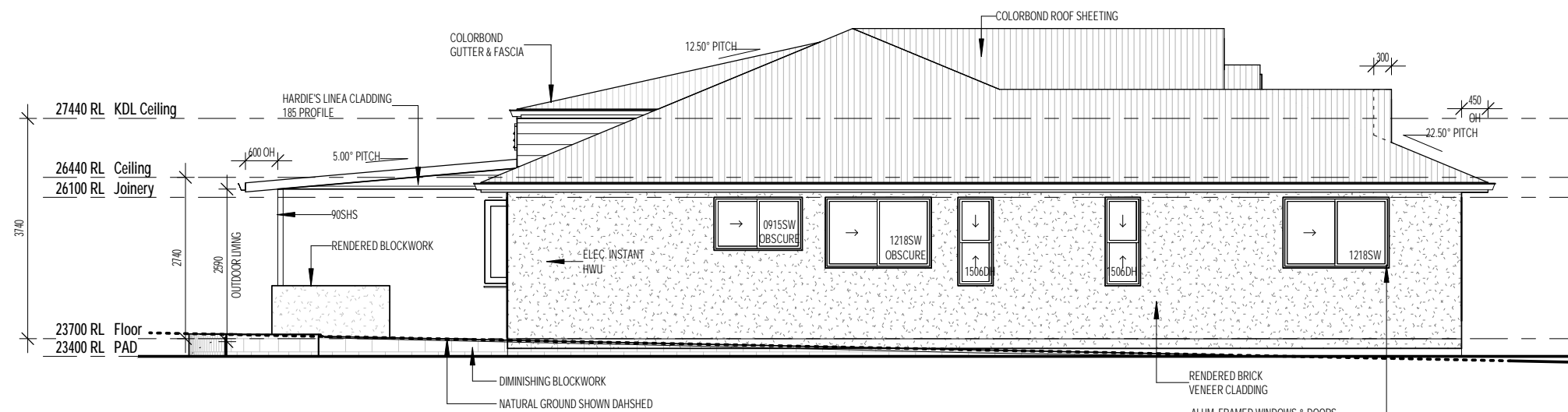
ISSUE

PD2

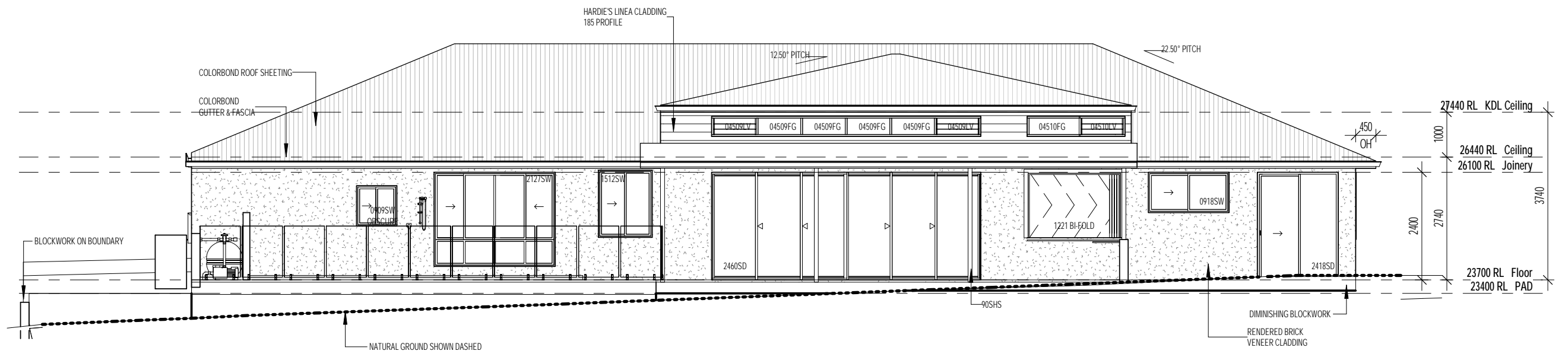
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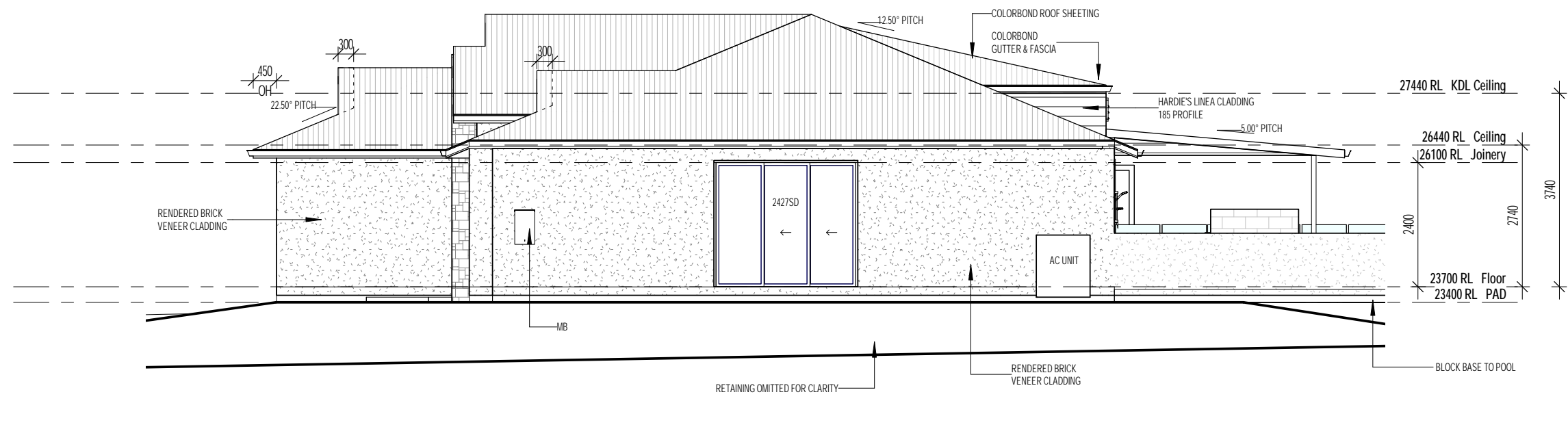
Elevation A
1 : 100



Elevation B
1 : 100



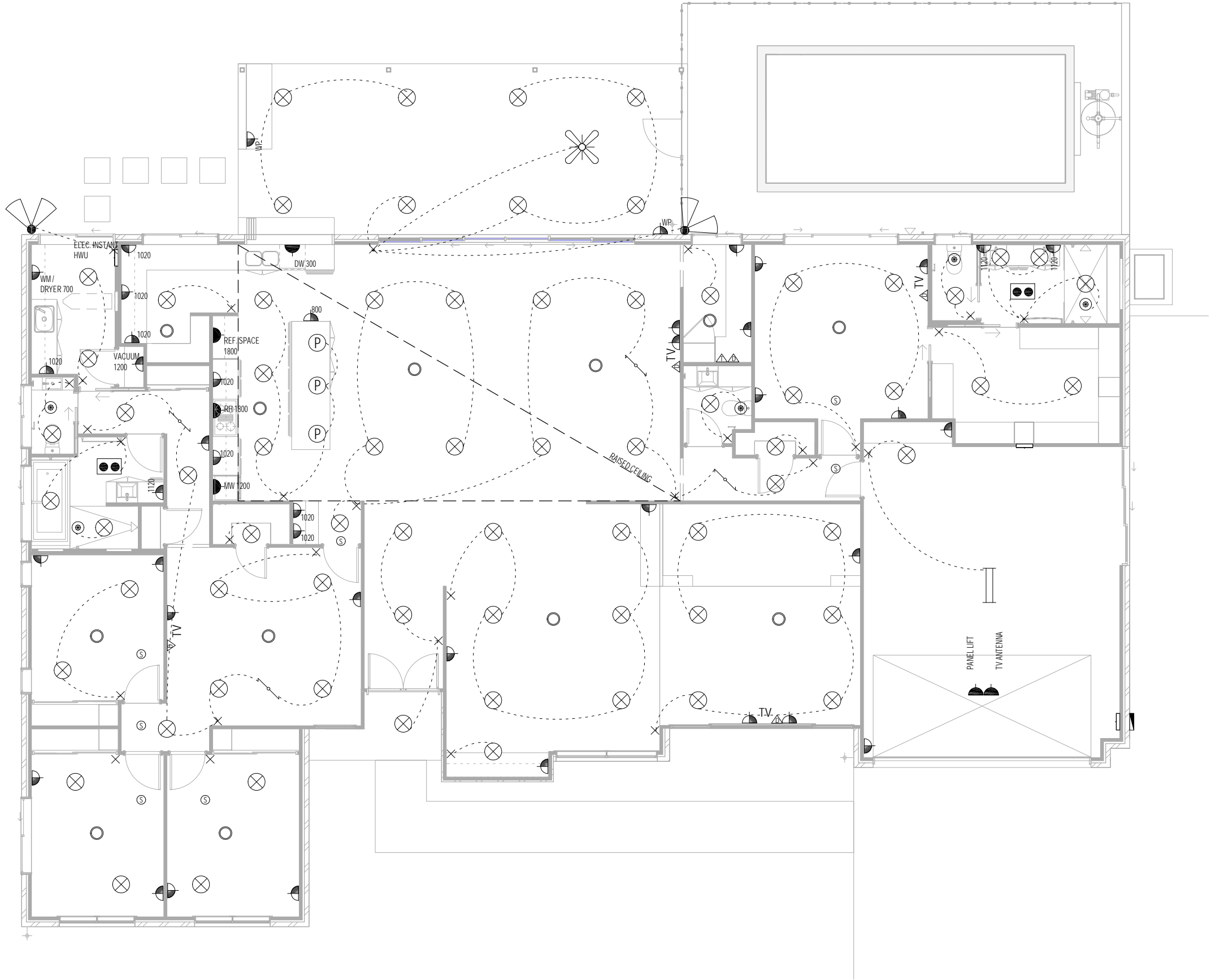
Elevation C
1 : 100



Elevation D
1 : 100

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	QTY
	SINGLE POWER POINT LOCATE TO SUIT APPLIANCE	5
	DOUBLE POWER POINT LOCATE 300MM ABOVE FFL U.N.O.	39
	DOUBLE P/P WITH 2/USB POINTS LOCATE 300MM ABOVE FFL U.N.O.	-
	WATERPROOF SINGLE P/P LOCATE 300MM ABOVE FFL U.N.O.	-
	WATERPROOF DOUBLE P/P LOCATE 300MM ABOVE FFL U.N.O.	2
	STANDARD TELEPHONE POINT LOCATE 300MM ABOVE FFL U.N.O.	1
	DATA POINT LOCATE 300MM ABOVE FFL U.N.O.	5
	STANDARD TELEVISION POINT LOCATE 300MM ABOVE FFL U.N.O.	4
	2/1200 FLUORESCENT LIGHT	1
	LED DOWNLIGHT	71
	SPOTLIGHT	2
	OYSTER LIGHT FITTING	-
	PENDANT LIGHT OWNER SUPPLIED,BUILDER INSTALLED	3
	WALL MOUNTED LIGHT LOCATE 2000MM ABOVE FFL U.N.O.	-
	EXHAUST FAN ONLY	5
	2 HEAT FAN LIGHT	2
	CEILING FAN WITH LIGHT	-
	CEILING FAN	1
	SMOKE DETECTOR LOCATE 2000MM ABOVE FFL U.N.O.	7
	LIGHT/ FAN SWITCHES LOCATE 1100MM ABOVE FFL U.N.O.	29
	2-WAY LIGHT SWITCH	4
	SENSOR LIGHT	-
	METERBOX	1
	NATIONAL BROADBAND NETWORK	-
	POWER ISOLATOR FOR AC UNIT	-
	SUPPLY AIR	12



REVISION

0	20.09.2019	SK ISSUE
PD1	23.10.2019	PD1 ISSUE
PD2	30.10.2019	PD2 ISSUE - DRIVEWAY CARAVAN STORE REVISED, GAS HWU REMOVED, ELEC INSTANT HWU ADDED, MB RELOCATED

TITLE Electrical

DATE 30.10.2019

SCALE 1 : 100

ADDRESS ...

CLIENT xx Residence

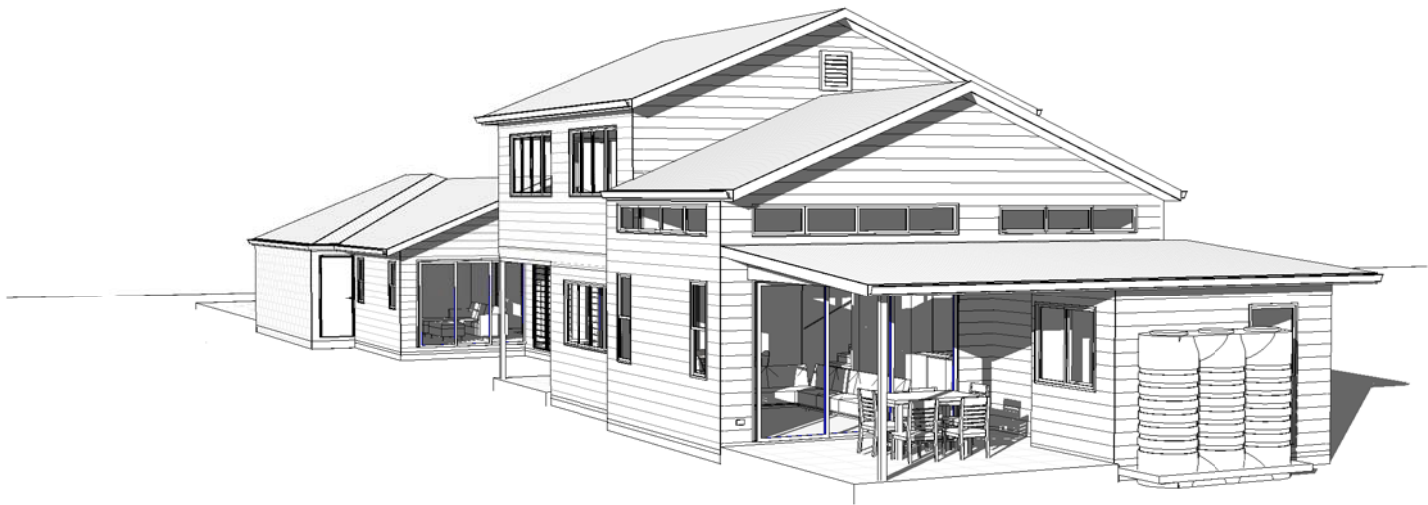
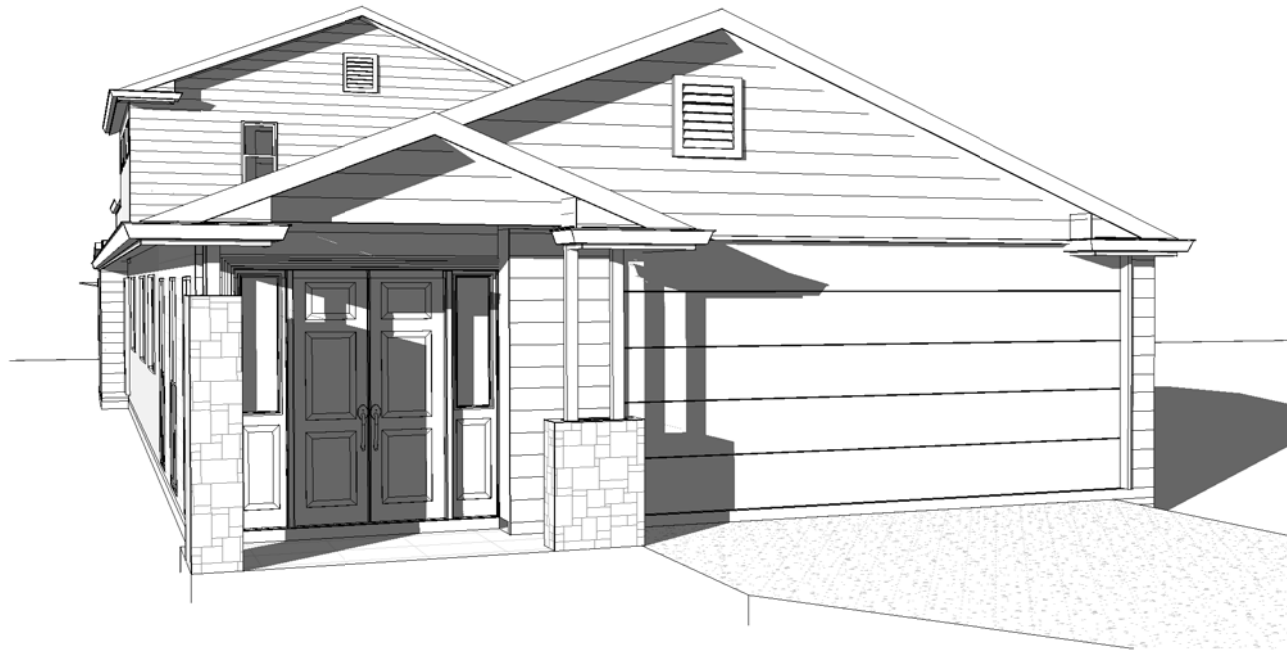
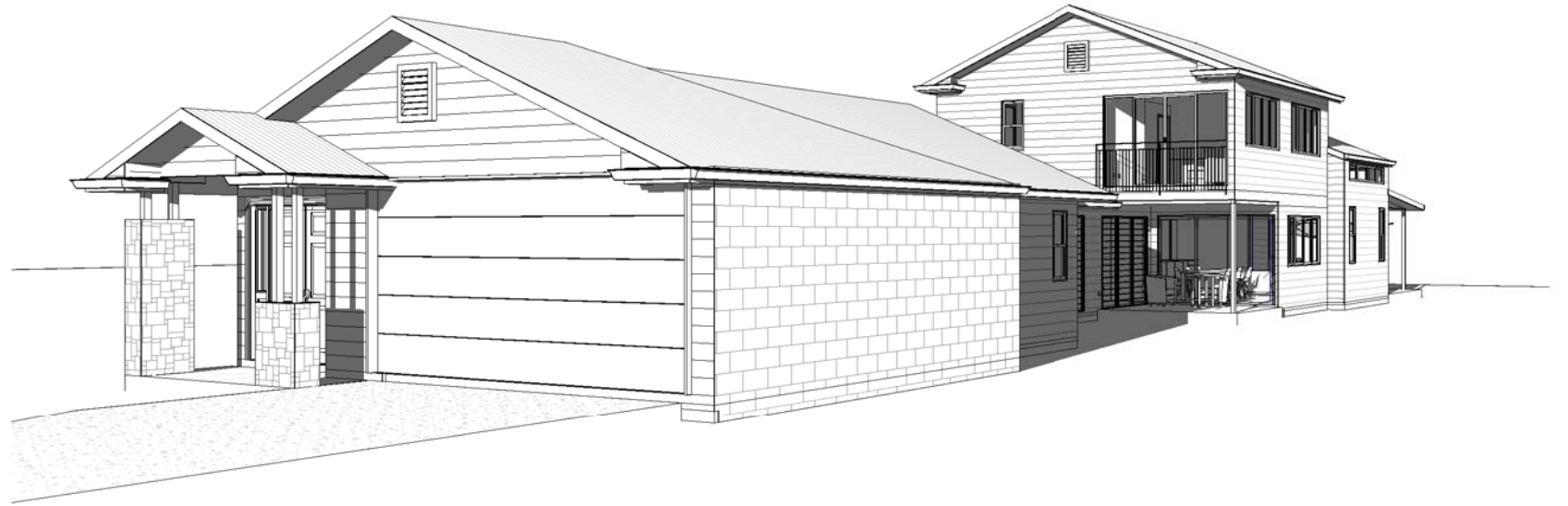
PROJECT NO

DWG no

6

ISSUE

PD2



PROPERTY DESCRIPTION

LOT 188 ON RP 29197
AUTHORITY: BRISBANE C.C.
AREA: 551.29m²

AREAS

SITE AREA: 551.29m²
TOTAL FOOTPRINT: 286.33m²
SITE COVER: 51.93%

AREA SCHEDULE	
NAME	AREA
Covered Patio	10.55 m ²
Garage	42.13 m ²
Ground Floor Living	182.29 m ²
Lvl 1	55.23 m ²
Outdoor Living	17.86 m ²
Porch	4.69 m ²
	312.76 m ²

- LEGEND
- DP

DOWNPIPE
- MB

METER BOX (LOCATION TO BE CONFIRMED ON SITE BY ELECTRICIAN)
- HWS

HOT WATER SYSTEM
- OMP

OUTER MOST PROJECTION
- FW

FACE OF WALL
- STORMWATER PIT (ALLOCATION OF PITS TO BE CONFIRMED ON SITE BY PLUMBER)

GENERAL NOTES

1.

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.

2.

ALL DIMENSIONS, ANGLES AND LEVELS TO BE CHECKED AND VERIFIED ON SITE.

3.

DO NOT SCALE FROM DRAWINGS.

4.

DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTS, INCLUDING CONDITIONS OF APPROVAL, ETC.

5.

ALL SURVEY PEGS ARE TO BE SITED IN POSITION PRIOR TO COMMENCEMENT ON CONSTRUCTION.

6.

THE DWELLING IS NOT TO EXCEED 8.5M ABOVE NATURAL GROUND LEVEL.

7.

ALL VEGETATION, RUBBISH, TOPSOIL AND CONTAMINATED FILL SHALL BE REMOVED FROM SITE AND REPLACED WITH CLEAN FILL.

8.

THE SITE IS TO BE ADEQUATELY DRAINED TO THE ENGINEERS RECOMMENDATIONS AS SET OUT IN THE SOIL REPORT AND CSIRO RECOMMENDATIONS FOR THE MAINTENANCES OF RESIDENTIAL SLABS AND FOOTINGS.

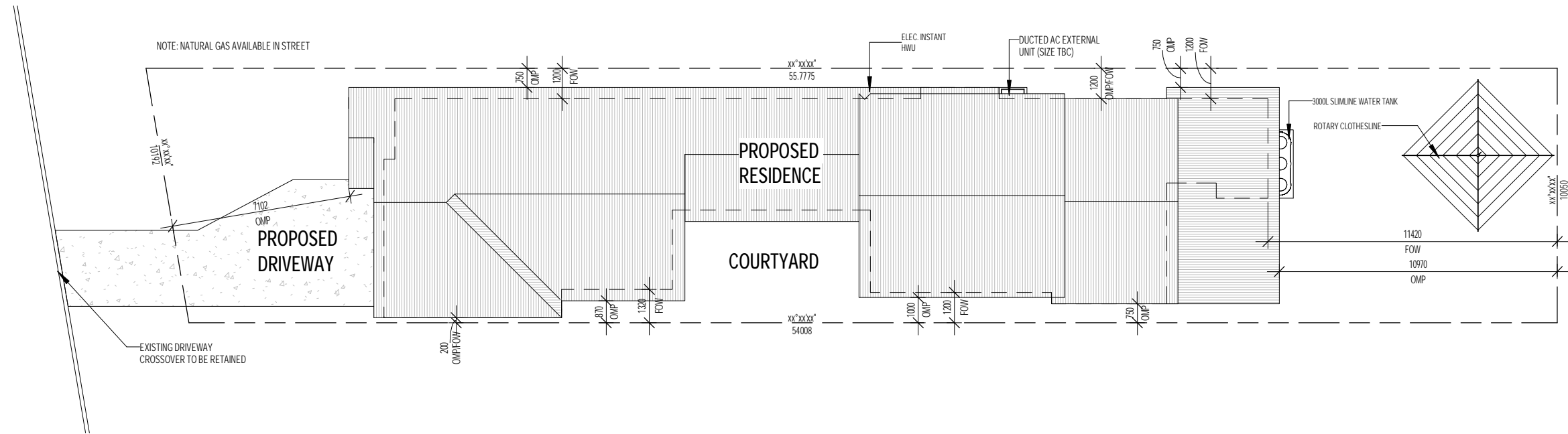
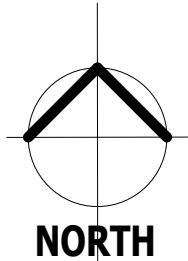
9.

STORMWATER TO STREET KERB IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

10.

ALL DOWNPIPES TO BE 90MM DIAMETER UPVC.

11.

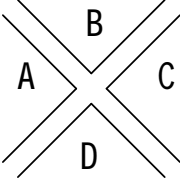
REFER TO ENGINEERS DESIGN AND DETAILS FOR HOUSEHOLD WASTE.

Site Plan
1 : 200

PRELIMINARY SITING ONLY -
LEVELS TO BE CONFIRMED ONCE
SITE SURVEY COMPLETED

AREA SCHEDULE	
NAME	AREA
Covered Patio	10.55 m ²
Garage	42.13 m ²
Ground Floor Living	182.29 m ²
Lvl 1	55.23 m ²
Outdoor Living	17.86 m ²
Porch	4.69 m ²
	312.76 m ²

ELEVATIONS



LEGEND

- Ⓢ SMOKE DETECTOR
- ⬆ FLOOR WASTE GULLY
- DP DOWNPIPE
- DT DRAWER TOWER
- MB METER BOX
- HWS HOT WATER SYSTEM
- OHC OVERHEAD CUPBOARD
- CTR/RH COOKTOP/ RANGEHOOD
- ▽ SHOWER HEAD
- M MIXER
- TR TOWEL RAIL
- TRi TOWEL RING
- TH TOILET ROLL HOLDER
- P1 720 x 350 BRICK PIER
- P2 90 x 90 TIMBER POST (PAINTED)
- WOT WALL OVEN TOWER

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INCLUSIONS

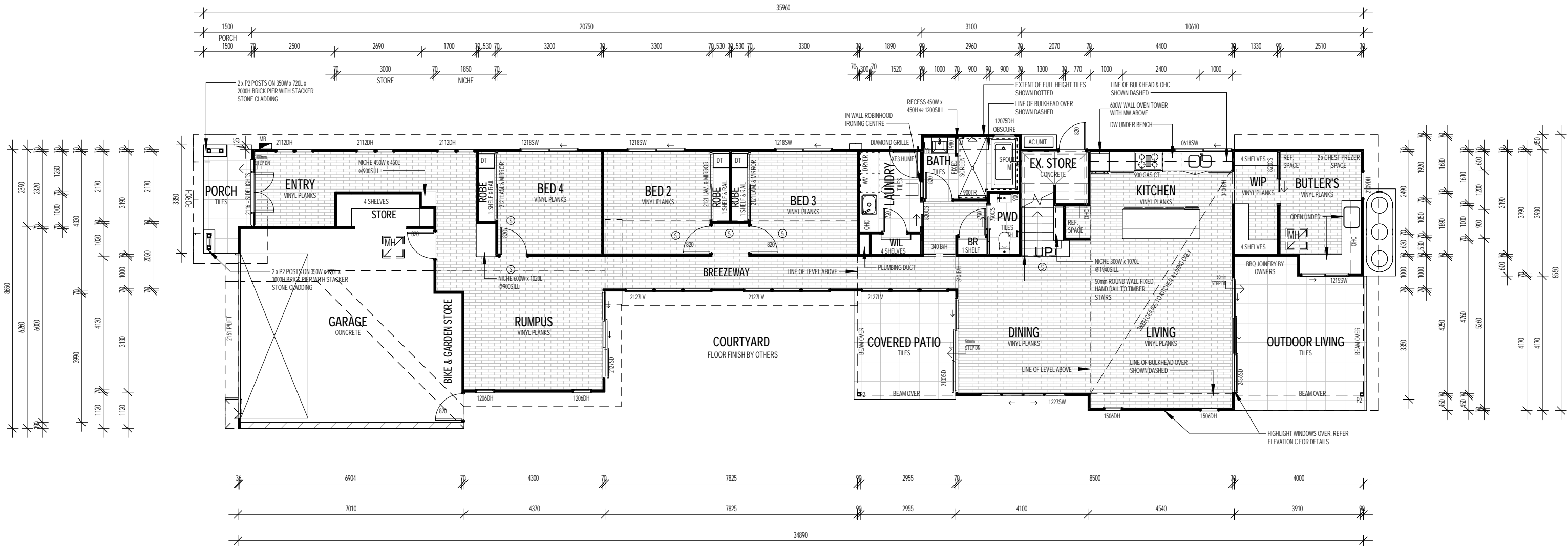
GROUND FLOOR
WINDOWS = 2100
EXTERNAL DOORS = 2100 (2400 TO OUTDOOR LIVING)
INTERNAL DOORS = 2100

LEVEL ONE
WINDOWS = 2100
EXTERNAL DOORS = 2100
INTERNAL DOORS = 2100

- GENERAL
- POST-FORMED LAMINATE TO LAUNDRY & BUTLER'S
 - 20mm STONE TO KITCHEN, BATH, ENSUITE & PWD
 - 300mm SKIRTING TILE TO ALL WET AREAS UNLESS SHOWN OTHERWISE
 - SQUARE SET CORNICE THROUGHOUT

- WINDOWS
- 2400 HEAD HEIGHT TO LIVING. 2100 HEAD HEIGHT TO ALL OTHER WINDOWS
 - INSECT SCREENS THROUGHOUT

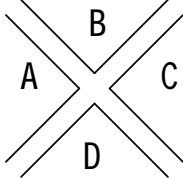
- DOORS
- 2400 HEAD HEIGHT TO OUTDOOR LIVING. 2100 HEAD HEIGHT TO ALL OTHER DOORS
 - DIAMOND GRILLE SECURITY SCREEN TO LAUNDRY DOOR. INSECT SCREENS TO ALL OTHER DOORS



Ground Floor - Scaled
1 : 120

AREA SCHEDULE	
NAME	AREA
Covered Patio	10.55 m²
Garage	42.13 m²
Ground Floor Living	182.29 m²
Lvl 1	55.23 m²
Outdoor Living	17.86 m²
Porch	4.69 m²
	312.76 m²

ELEVATIONS



LEGEND

- Ⓢ SMOKE DETECTOR
- ⚡ FLOOR WASTE GULLY
- DP DOWNPIPE
- DT DRAWER TOWER
- MB METER BOX
- HWS HOT WATER SYSTEM
- OHC OVERHEAD CUPBOARD
- CT/RH COOKTOP/RANGEHOOD
- ▽ SHOWER HEAD
- M MIXER
- TR TOWEL RAIL
- TRI TOWEL RING
- TH TOILET ROLL HOLDER
- P1 720 x 350 BRICK PIER
- P2 90 x 90 TIMBER POST (PAINTED)
- WOT WALL OVEN TOWER

GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
ALL DIMENSIONS, ANGLES AND LEVELS TO BE CHECKED AND VERIFIED ON SITE.
DO NOT SCALE FROM DRAWINGS.
DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTS, INCLUDING CONDITIONS OF APPROVAL, ETC.
DESIGN IS BASED ON N3 (NON-CYCLONIC) FOR WIND SPEEDS TO 41MS.
HATCHINGS AND FITTINGS ARE INDICATIVE ONLY. REFER TO BUILDERS SPECIFICATIONS.
SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH CURRENT NCC REQUIREMENTS.

INCLUSIONS

GROUND FLOOR
WINDOWS = 2100
EXTERNAL DOORS = 2100 (2400 TO OUTDOOR LIVING)
INTERNAL DOORS = 2100

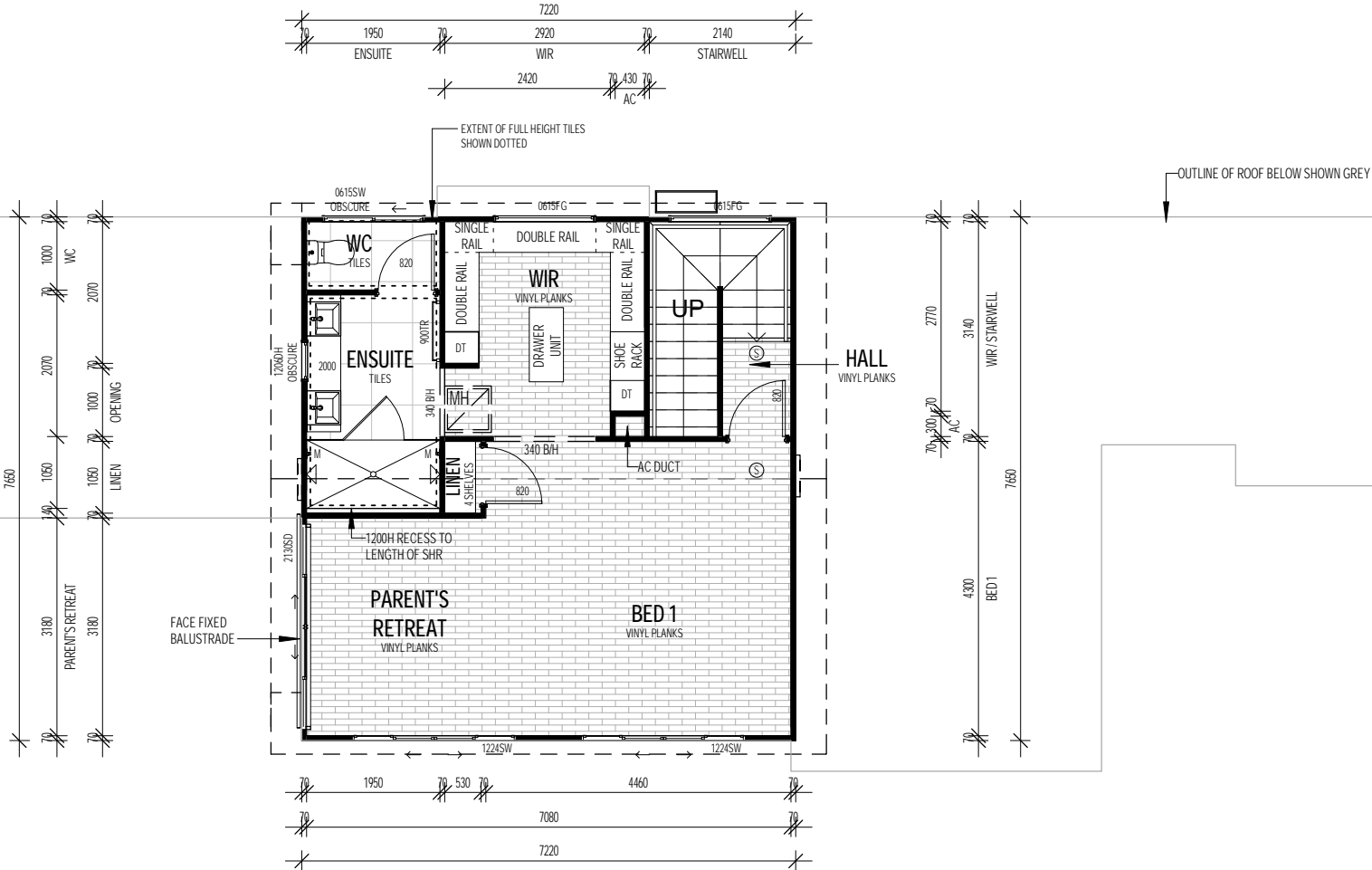
LEVEL ONE
WINDOWS = 2100
EXTERNAL DOORS = 2100
INTERNAL DOORS = 2100

- GENERAL
- POST-FORMED LAMINATE TO LAUNDRY & BUTLER'S
 - 20mm STONE TO KITCHEN, BATH, ENSUITE & PWD
 - 300mm SKIRTING TILE TO ALL WET AREAS UNLESS SHOWN OTHERWISE
 - SQUARE SET CORNICE THROUGHOUT

- WINDOWS
- 2400 HEAD HEIGHT TO LIVING. 2100 HEAD HEIGHT TO ALL OTHER WINDOWS
 - INSECT SCREENS THROUGHOUT

- DOORS
- 2400 HEAD HEIGHT TO OUTDOOR LIVING. 2100 HEAD HEIGHT TO ALL OTHER DOORS
 - DIAMOND GRILLE SECURITY SCREEN TO LAUNDRY DOOR. INSECT SCREENS TO ALL OTHER DOORS

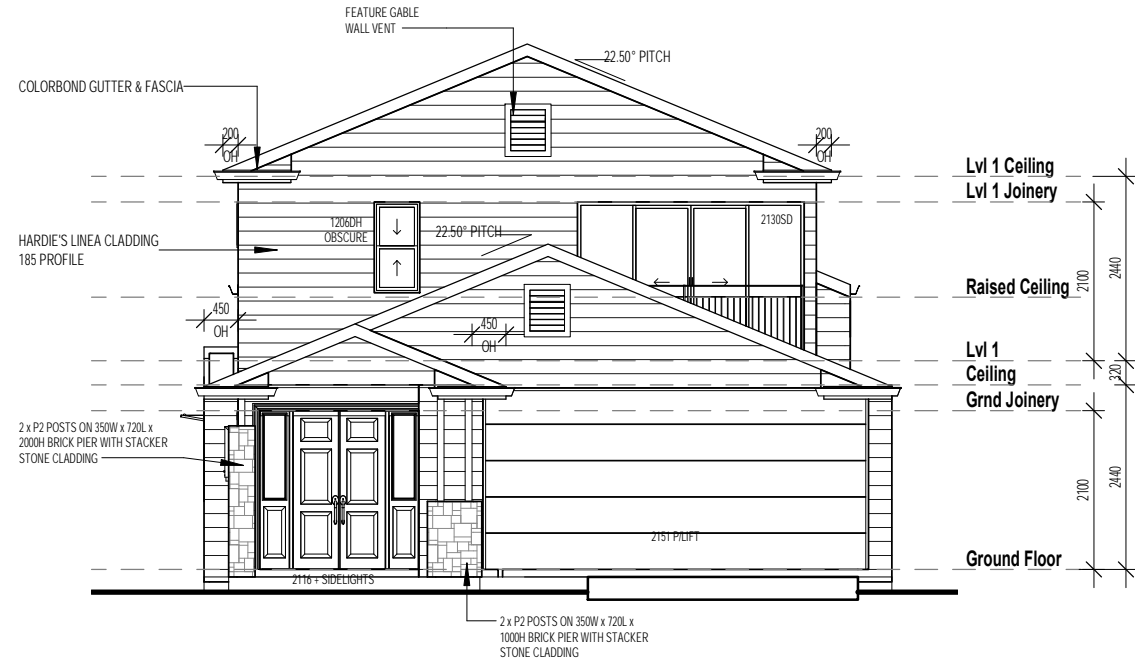
Lvl 1
1 : 100



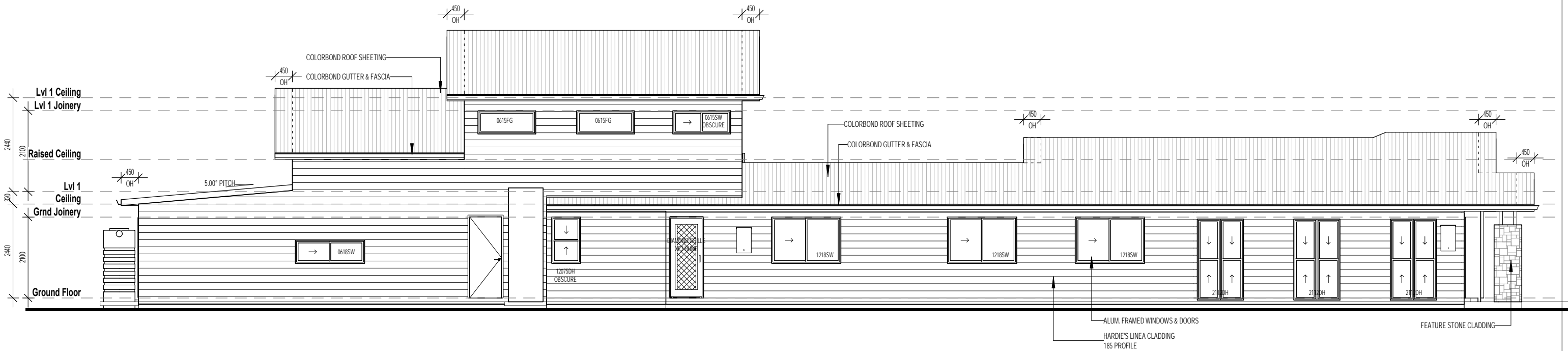
REVISION

E	13.09.2019	CONCEPT 5
F	13.09.2019	CONCEPT 6
G	18.10.2019	P01 ISSUE
H	24.10.2019	P02 ISSUE
I	25.10.2019	P03 ISSUE

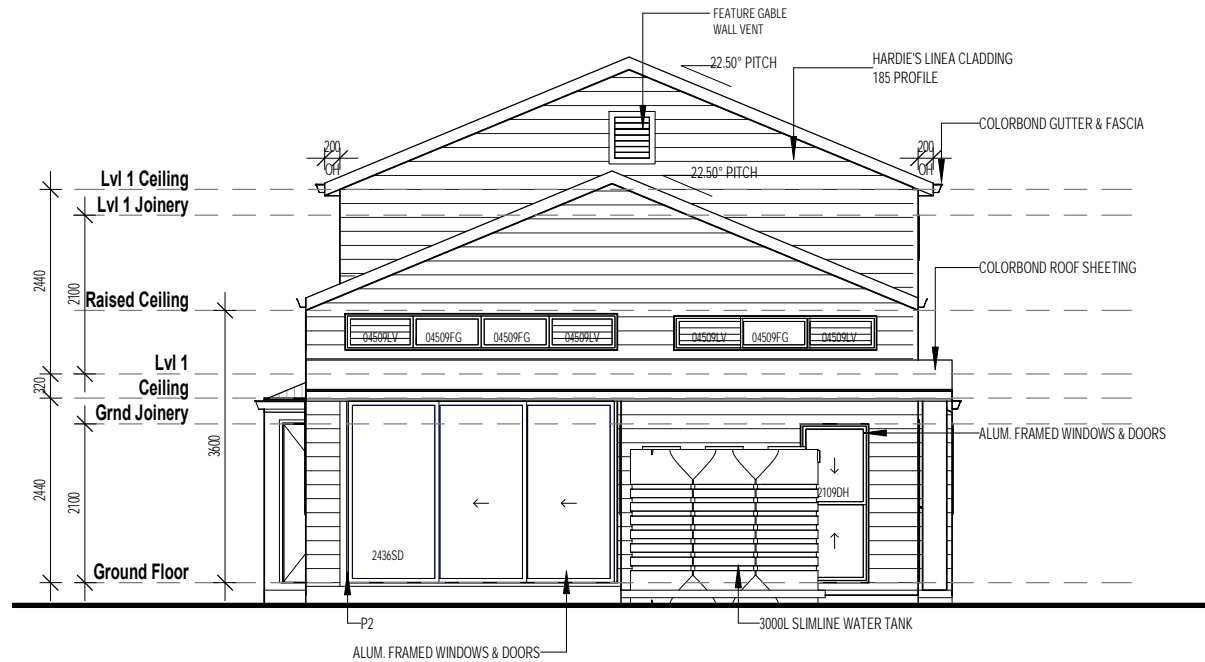
TITLE Level 1	ADDRESS ...	PROJECT NO	ISSUE 1
DATE 25.10.019		DWG no 5	
SCALE 1 : 100	CLIENT x Residence		



Elevation A
1 : 100



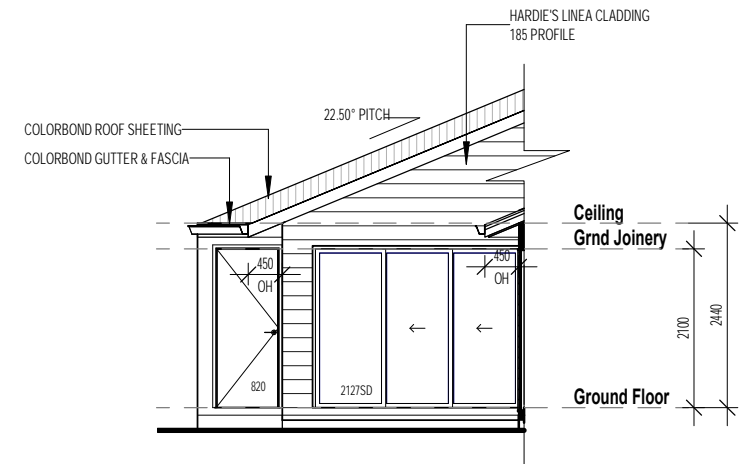
Elevation B
1 : 100



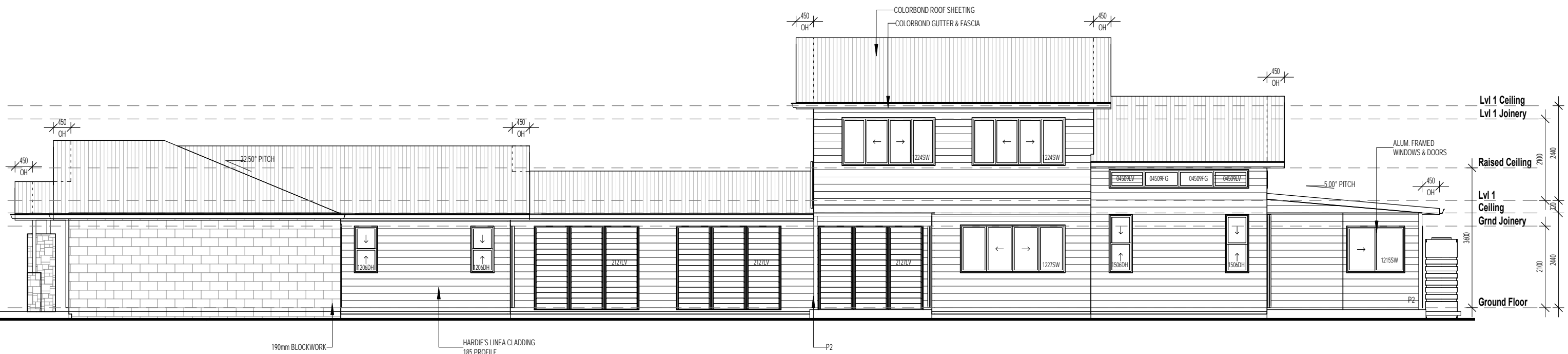
Elevation C
1 : 100



Elevation D
1 : 100



Elevation E
1 : 100



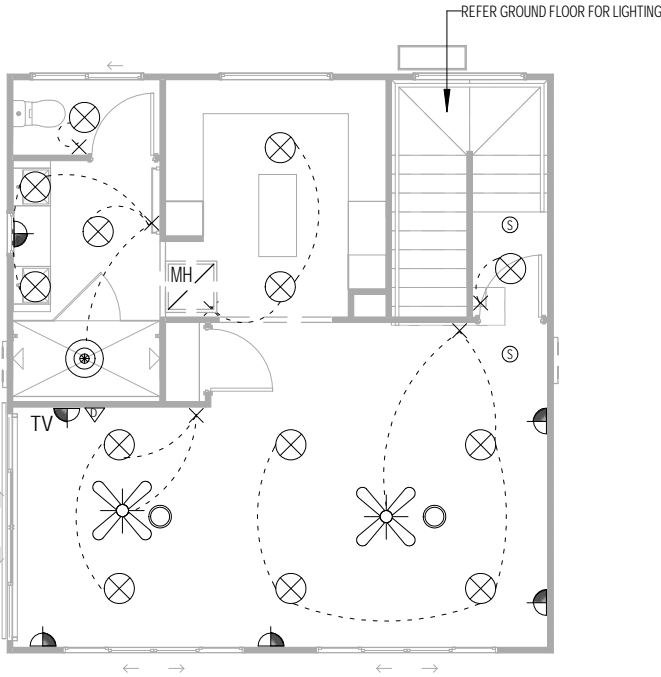
Elevation F
1 : 100

ELECTRICAL LEGEND

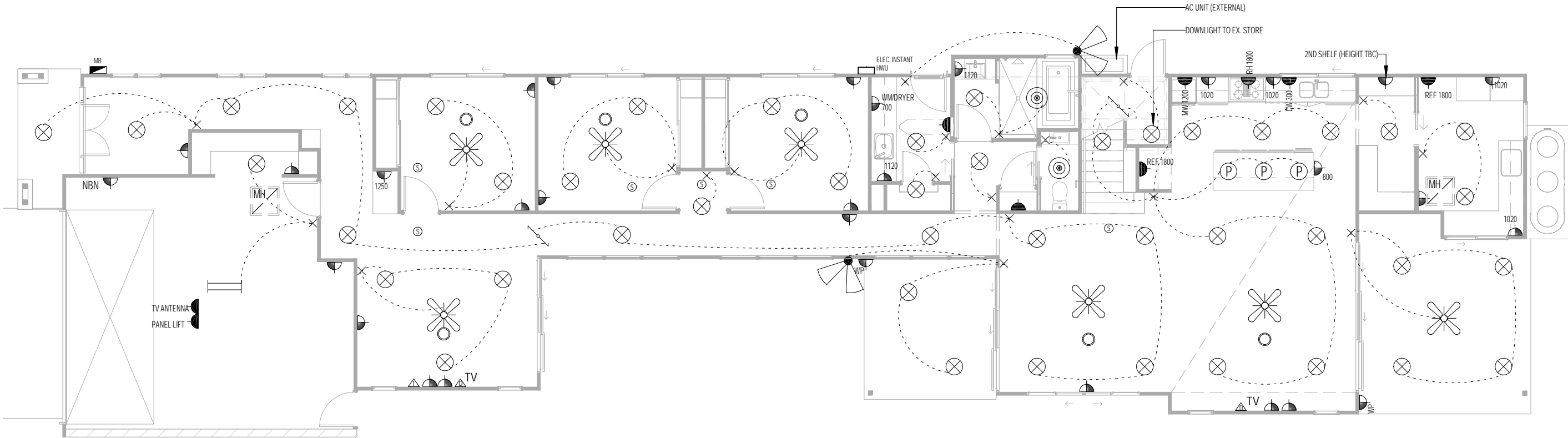
SYMBOL	DESCRIPTION	QTY	SYMBOL	DESCRIPTION	QTY	SYMBOL	DESCRIPTION	QTY	SYMBOL	DESCRIPTION	QTY
	SINGLE POWER POINT LOCATE TO SUIT APPLIANCE	9		STANDARD TELEVISION POINT LOCATE 300MM ABOVE FFL U.N.O.	3		EXTRACTOR FAN WITH LIGHT	3		SPOT LIGHT	2
	DOUBLE POWER POINT LOCATE 300MM ABOVE FFL U.N.O.	34		2/1200 FLUORESCENT LIGHT	1		2 HEAT FANLIGHT	-		METERBOX	1
	WATERPROOF SINGLE P/P LOCATE 300MM ABOVE FFL U.N.O.	-		LED DOWNLIGHT	57		CEILING FAN	9		SOLAR BOARD	-
	WATERPROOF DOUBLE P/P LOCATE 300MM ABOVE FFL U.N.O.	2		PENDANT LIGHT OWNER SUPPLIED/BUILDER INSTALLED	3		SMOKE DETECTOR TO BE HARDWIRED & INTERCONNECTED	8		NATIONAL BROADBAND NETWORK	1
	STANDARD TELEPHONE POINT LOCATE 300MM ABOVE FFL U.N.O.	1		WALL MOUNTED LIGHT LOCATE 2000MM ABOVE FFL U.N.O.	-		LIGHT/ FAN SWITCHES LOCATE 1100MM ABOVE FFL U.N.O.	26		SOLAR NEON SWITCH LOCATE 1100MM ABOVE FFL U.N.O.	-
	DATA POINT LOCATE 300MM ABOVE FFL U.N.O.	3		SENSOR	-		DIMMER SWITCH LOCATE 1100MM ABOVE FFL U.N.O.	-		SUPPLY AIR	8
	FOXTEL POINT LOCATE 300MM ABOVE FFL U.N.O.	-		EXHAUST FAN ONLY	-		2-WAY LIGHT SWITCH	2		WALL MOUNTED SUPPLY AIR	-

ADDITIONAL NOTES

- 3 PHASE POWER
- NATURAL GAS AVAILABLE IN STREET



Lvl 1
1 : 100



Ground Floor
1 : 100